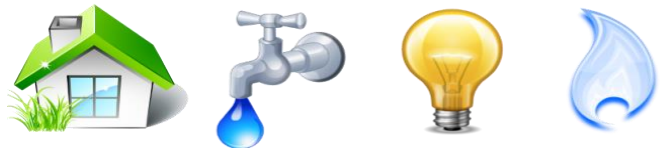


# Utility Allowances

January 2024

## OTTUMWA HOUSING AUTHORITY

Ottumwa, Iowa



**UPDATE REPORT**

**PUBLIC HOUSING**

**UTILITY ALLOWANCE SURVEY AND STUDY**

The **Nelrod** Company®

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February 2, 2024

Meliha Cavkusic, Executive Director  
Ottumwa Housing Authority  
935 West Main Street  
Ottumwa, IA 52501

**Re: Public Housing Utility Allowances Update Report -2024**

Dear Ms. Cavkusic:

ResidentLife Utility Allowances® is pleased to enclose the Public Housing Utility Allowances Update Report - January 2024. Please see the Survey and Study Results section of the study analysis for details of changes.

ResidentLife Utility Allowances is putting our seal of compliance on the work we perform for your agency certifying that we have developed your Utility Allowances in compliance with HUD Regulations and guidelines. **We recommend that you post your adopted utility allowance schedule(s) on your webpage. We have made this process easy for you by providing, by email, an electronic version of your currently updated Utility Allowances in a pdf format that is ready to upload directly to your website.** This format displays our Seal of Certified Compliance assuring residents, Agency staff, HUD representatives, or other interested parties, that an approved method was used to efficiently and accurately develop your utility allowances and that the utility allowances are current.

As a reminder, HUD regulations (24CFR965-507(b)) state that, "adjustments to resident payments as a result of such changes" (adjustments made due to a result of rate changes of 10% or more) agencies do not have to comply with the sixty (60) day notice (and comment period) requirement of §965.502(c)." A 30-day notice will suffice.

Please note that notice of the availability of relief from surcharges or payment of utility supplier billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission.

Please carefully review this report for any identifiable problems, changes, corrections, and/or special needs and let me know if you have any changes or questions as soon as possible. If no changes are requested this report will serve as a final report as well. **Please see the attached Closure Acceptance Statement, sign and return as soon as possible.** You can contact me at (817) 922-9000 ext 101 or [cynthia@nelrod.com](mailto:cynthia@nelrod.com). It is a pleasure working with your agency.

Sincerely,

*Cynthia Ramirez*

Cynthia Ramirez  
ResidentLife Utility Allowances® Specialist

Enclosure

Disclaimer: ResidentLife Utility Allowances® will make any necessary corrections to work previously performed prior to submission of final report. It is important to note that many local communities have different rate structures, weather patterns, types of charges, etc. ResidentLife Utility Allowances® has made every effort to be as accurate as possible, but will not be held responsible for changes involving different methodologies, rate structures, regulatory changes, omission and/or misinformation of cost calculation data from utility providers, selection of most advantageous cost calculation methodology in areas with multiple costing methods, and inaccurate allowances resulting from lack of information or data not provided by the agency.

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## Closure Acceptance Statement

**Re: Public Housing Utility Allowances Update Report -2024**

Upon signing this Closure Statement I, \_\_\_\_\_, on behalf of the **Ottumwa Housing Authority, IA** acknowledge receipt of the survey study report.

I, or a member of our agency staff, have reviewed this report and have requested edits, changes or additions if needed. Our agency now accepts this survey study report as final. This does not mean that we will adopt these results as our Agency’s actual allowances.

Signed

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date

**Please sign and return within 30 days  
fax to: (817) 922-9100 or email to residentlife@nelrod.com**

**Job #2352-RU-006**

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# **OBJECTIVES AND METHODOLOGY**

# OBJECTIVES AND METHODOLOGY

## PUBLIC HOUSING

### ANNUAL UPDATE 2024

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*This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities, and HUD’s Utility Allowance Guidebook.*

#### **Utility Rate Comparison**

Prior to beginning this update study for the **Ottumwa Housing Authority, IA**, as required by HUD regulations 24 CFR 965.507(b), a comparison (annual review) was made of the utility rates and charges (**January 2023**) utilized in the development of the currently adopted utility allowances and the current utility rates and charges (**January 2024**). This comparison indicated that Alliant Energy’s electric summer rates increased 1%, winter tier-1 and tier-2 rates increased 2% each, and the monthly charge and taxes remained the same. MidAmerican Energy’s natural gas rates decreased 25%, monthly charges increased 7%, and taxes remained the same. Ottumwa Water & Hydro’s water rates increased 14%, the monthly charge increased 9%, and taxes remained the same. The City of Ottumwa’s sewer rates and charges remained the same. (See “Comparison of Previous and Current Utility Rates” in Support Documentation section of this report.) Since the utility provider’s **rates** have changed more than 10%, the utility allowances will be adjusted. This does not mean that **utility allowances** will change by the actual percentage values listed above.

#### **Objective**

The objective of this survey and study is to update utility allowances with current utility provider’s rates and charges for electric, natural gas, water, and sewer for the **Ottumwa Housing Authority, IA**. The Agency has 60 dwelling units at 1 development where residents pay some or all of these utilities. Additionally, all of the units have energy efficient vinyl windows, heaters, water heaters, insulation, 100% LED lighting, and water saving appliances. These allowances are based upon a reasonable consumption, from a previous engineering method study of an energy conservative family of modest circumstances and to provide for the basic essentials needed for a living environment that is safe, sanitary and healthful.

## **Methodology**

The following steps were taken by a utility allowance specialist to accomplish the above objective.

### **1. Obtaining Current Utility Rates and Charges**

The following information was obtained by a rate specialist and input in the Utility Providers Residential Rates and Charges document:

- a. Documentation on current residential **electric** summer and winter rates and charges from **Alliant Energy** through their internet website and telephone inquiries.
- b. Documentation on current residential **natural gas** rates and charges from **MidAmerican Energy** through their internet website and telephone inquiries.
- c. Documentation on current residential **water and sewer** rates and charges from **Ottumwa Water & Hydro** and the **City of Ottumwa** through their internet websites and telephone inquiries.

Residents do not pay for trash collection services.

### **2. Comparison of Utility Rates**

A rate specialist created charts comparing the previously applied electric, natural gas, water, and sewer rates and charges for each provider (January 2023) to the current utility rates and charges (January 2024). These charts calculate a percentage difference in utility rates.

Then the rate specialist analyzed the rate comparisons and emailed the draft charts to the Agency with a recommendation to adjust current utility allowances due to a greater than 10% change in utility rates and charges (HUD regulations 24 CFR 965.507(b)).

### **3. Data Gathering**

- a. *Currently Adopted Utility Allowances*

A copy of the currently adopted Utility Allowances was requested and received from the Agency.



b. *Monthly Utility Consumption Averages*

In a previous study models of the Agency's Public Housing units were created by qualified licensed professionals, and consumption averages were obtained using an engineering method. The consumption averages that were affected by weather conditions were climatically adjusted with a 30-year Heating Degree Day factor (see explanation of factor below).

Since the average base consumptions developed in a previous study will not be adjusted, we gathered and utilized a copy of these monthly consumptions for back-up documentation to this study.

*Note: HUD regulations for Public Housing (24 CFR 965.505 (e)) do not allow for air conditioning in the utility allowances, therefore air conditioning consumptions were eliminated from the consumption totals.*

c. *Climatic Data*

In a previous study climatic data was gathered for the City of **Des Moines, Iowa** (Annual Summary report 2020) from the National Oceanographic and Atmospheric Administration National Climatic Data Center (NCDC). Des Moines is the nearest location with recorded data. This data is used to develop a 30-year Heating Degree Day (HDD) factor that is then applied to the average winter heating consumption totals to make additional adjustments and normalize the consumptions.

The 30-year Heating Degree Day (HDD) factor did not change and is **1.05**.

Since this factor is still the same the consumptions were not adjusted.

#### 4. *Utility Allowance Adjustments*

The following process was conducted by a utility allowance specialist:

- a. Updated the **electric** Cost of Consumption calculation charts, from the previous study, for each **Scattered Site** and applicable bedroom size with **Alliant Energy's** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.
- b. Updated the **natural gas** Cost of Consumption calculation charts, from the previous study, for each development and applicable bedroom size with

**MidAmerican Energy's** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.

- c. Update, where needed, the **water and sewer** Cost of Consumption calculation charts, from the previous study, for each **Scattered Site** and applicable bedroom size with **Ottumwa Water & Hydro's** and the **City of Ottumwa's** current utility rates and charges.

Residents do not pay for trash collection services.

The updated utility allowances were entered into Chart 1 – Proposed Monthly Utility Allowances, found in the Survey and Study Results section of this report.

## 5. *Utility Allowance Schedule*

Utility Allowance Schedules are not subject to approval by HUD before becoming effective, but will be reviewed in the course of audits or reviews of Agency operations (24 CFR 965.502(d)).

## 6. *Comparison of Current and Proposed Utility Allowances*

A comparison of the Agency's currently adopted utility allowances and the proposed allowances from this study is provided. (See Chart 2, found in the Survey and Study Results section of this report, for the comparison.)

## 7. *Notification, Display and Comment Period*

Per HUD regulations (24 CFR 965.507(c)), "The PHA shall give notice to all residents of proposed allowances, scheduled surcharges, and revisions thereof."

## 8. *Support Documentation*

Per HUD regulations (24 CFR 965.502(b)) the Agency must maintain a record that documents the basis on which allowances and scheduled surcharges, and revisions thereof, are established and revised. Such record shall be available for inspection by residents (24 CFR 965.502(c)).

This report contains a copy of all such supporting documentation.

## 9. *Annual Update*

HUD regulations (24 CFR 965.207) state that housing authorities shall **review allowances at least annually** and revise allowances established if there has been a **10% increase or decrease** in utility rate and charges. If an annual adjustment is not made to the current utility allowances, the agency must monitor utility rates and charges to see if a rate has changed, by itself or together with prior rate change, not adjusted for, resulting in a change of 10% or more since the last utility allowance update. This interim adjustment helps Agencies avoid costly back charges and rent adjustments. ResidentLife Utility Allowances<sup>®</sup> provides a quarterly Rate Monitoring Service.

## 10. *Individual Relief*

We have included Individual Relief Medical Equipment Allowances in the Survey and Study Results section of this report.

Please note that notice of the availability of relief from surcharges or payment of utility provider billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission. Agencies should have written procedures regarding Individual Relief in their Admission and Continued Occupancy (ACOP) policies.

## **SURVEY AND STUDY RESULTS**

# SURVEY AND STUDY RESULTS

## PUBLIC HOUSING

### ANNUAL UPDATE 2024

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The HUD Regulation (24 CFR 965.507(a) & (b)) requirement of a comparison of the utility providers' rates and charges was conducted and indicated **a greater than 10% change in utility rates and charges** since the 2023 study was conducted. (Refer to page 2, Utility Rate Comparison, and/or Comparison of Previous and Current Utility Rates in the Support Documentation section of this report.) Therefore, the **Ottumwa Housing Authority, IA** is updating utility allowances for electricity, natural gas, water, and sewer for their Public Housing (Conventional) developments where residents pay all of these utilities. Additionally, all of the units have energy efficient vinyl windows, heaters, water heaters, insulation, 100% LED lighting, and water saving appliances. The proposed utility allowances are shown in Chart 1 on the following page.

*This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities.*

### ***Comparison of Utility Allowances***

A comparison of the Agency's currently adopted Public Housing monthly utility allowances (effective date: Unknown) and the proposed monthly utility allowances from this study are shown in Chart 2. The chart is broken down by bedroom size.

### ***Results of Utility Allowance Comparison***

Chart 2 shows that some proposed utility allowances have increased, and one have remained the same after rounding. Increases are \$1.00, and the 4-bedrooms remained the same. Increased are due to a rise in Alliant Energy's electric rates, and Ottumwa Water & Hydro's water rates and charges.



## OTTUMWA HOUSING AUTHORITY, IA PUBLIC HOUSING

### PROPOSED MONTHLY UTILITY ALLOWANCES Chart 1

**UPDATE 2024**

**Building Type: Semi-Detached/Duplex**

<b>Family Scattered Sites (EE Equip: Win-V,H,WH,Ins,LED,WS)</b>	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (L&A,C)			\$54.00	\$63.00	\$71.00	
Natural Gas (H,WH)			\$34.00	\$39.00	\$42.00	
Water			\$46.00	\$55.00	\$65.00	
Sewer			\$47.00	\$59.00	\$71.00	
<b>Totals</b>			<b>\$181.00</b>	<b>\$216.00</b>	<b>\$249.00</b>	

A monthly average cost of the summer and winter adjustments were used for the natural gas costs.

L&A= Lights & Appliances  
H= Space Heating  
WH= Water Heating  
C= Cooking

EE Equip= Energy Efficient Equipment  
Win-V= Vinyl Windows  
Ins= Insulation  
WS= Water Saving Appliances  
LED= 100% LED Lighting

**Note: Public Housing utility allowances are calculated similar to the method used by each utility provider. These allowances are not calculated by end use (like Section 8 HCV), but by total usage for each utility type. Utility providers' monthly charges are included in the calculations.**

**OTTUMWA HOUSING AUTHORITY, IA**  
**PUBLIC HOUSING**

**COMPARISON OF CURRENT AND PROPOSED UTILITY ALLOWANCES**  
**Chart 2**

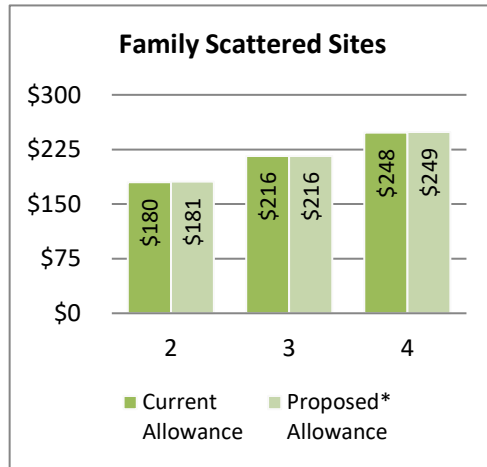
**UPDATE 2024**

Development	Bedroom Size	Current Allowance	Proposed* Allowance	Difference**
<b>Family Scattered Sites</b>	2	\$180.00	<b>\$181.00</b>	<b>\$1.00</b>
	3	\$216.00	<b>\$216.00</b>	<b>\$0.00</b>
	4	\$248.00	<b>\$249.00</b>	<b>\$1.00</b>

Proposed allowances include the average for electric and natural gas summer and winter months.

\*Proposed allowances were rounded to the nearest dollar.

\*\*After rounding.



**Individual Relief**  
**Medical Equipment Allowances**  
**Electric Provider: Alliant Energy(wtd avg)**

Item	Hours per Day	Wattage	Monthly kWh	Energy Charge	Utility Allowance
Oxygen Concentrator	18	400	223	0.16916	\$38.00
Nebulizer	2	75	5	0.16916	\$1.00
Electric Hospital Bed	0.2	200	1	0.16916	\$1.00
Alternating Pressure Pad	24	70	52	0.16916	\$9.00
Low Air-Loss Mattress	24	120	89	0.16916	\$15.00
Power Wheelchair/Scooter	3	360	33	0.16916	\$6.00
Feeding Tube Pump	24	120	89	0.16916	\$15.00
CPAP Machine	10	30	9	0.16916	\$2.00
Leg Compression Pump	24	30	22	0.16916	\$4.00
Dialysis Machine/Equipment	2	710	44	0.16916	\$7.00

**Oxygen Concentrator**

Use per day varies, assume 12-14 hours a day.  
The 5-Liter model uses 400 W, the 3-Liter model uses 320 W.

**Nebulizer**

A medicine delivery system used mostly for pediatric care.  
Used 4-6 times a day for 20 minutes at a time at 75W.

**Semi/Fully Electric Hospital Bed**

Use depends on adjustments. 200 W.

**Alternating Pressure Pad**

An air-filled mattress overlay.  
Used 24 hours a day for someone who is bed-ridden.

**Low Air-Loss Mattress**

Takes the place of mattress - air -filled pressurized mattress.  
Cycles air around every 15-20 minutes.

**Power Wheelchairs and Scooters**

Need to be charged approximately 8 hours every 3 days.  
Batteries are 120 V, 3 Amp, 360 W.

**Feeding Tube Pump (Continuous Feed)**

A pump delivers a constant amount of formula throughout the day or night.

**CPAP Machine**

Used for Sleep Apnea. Machines run only at night for people who have a tendency to stop breathing at night. At maximum pressure use is 40 Watts. On average - 30 Watts.

**Leg Compression Pump**

Provides intensive compression therapy. Use varies, generally from 8-24 hours daily.

**Dialysis Machine/Equipment (Small/Portable)**

Filters a patient's blood to remove excess water and waste products. Used 2 hours daily.



# **MONTHLY CONSUMPTION TOTALS & BUILDING TYPE DESCRIPTIONS**

# OTTUMWA HOUSING AUTHORITY, IA

## PUBLIC HOUSING

### MONTHLY UTILITY CONSUMPTION TOTALS

Consumptions developed in a previous study using an engineering method - 2021  
 (Heating consumptions climatically adjusted with HDD factor - 2020)  
 (Water consumptions based on national averages.)

#### Building Type: Semi-Detached/Duplex

Family Scattered Sites (EE Equip: Win-V,H,WH,Ins,LED,WS)	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (kWh) (L&A,C)			221	269	314	
Natural Gas (ccfs) S(WH)			12	14	15	
Natural Gas (ccfs) W(H,WH)			37	46	52	
Water (gallons)			3522	5052	6582	

Residents also pay sewer.

L&A= Lights & Appliances  
 H= Space Heating  
 WH= Water Heating  
 C= Cooking

EE Equip= Energy Efficient Equipment  
 Win-V= Vinyl Windows  
 Ins= Insulation  
 WS= Water Saving Appliances  
 LED= 100% LED Lighting

S= Summer  
 W= Winter

Summer: May - September (5), Winter: October - April (7)  
 Seasons based on Alliant Energy's electric Summer and Winter Months.

## Building Type (Structure) Descriptions

### 1. **Apartment/Walk-Up/Condominium/Garden Apartment/Low-Rise/Flat (Apt)**

- a. Building with a group of 3 individual **units** with common walls; attached to other units; separate entrances, and may have common staircases.
- b. Each **building** may have an end unit, inside unit, top unit, bottom unit, etc. **Building** will have 2 or more stories.
- c. Usually, but not always, there will be units on both sides of building.

### 2. **High Rise Apartment (H-R)**

A multi-unit building; 5 or more stories; sharing one or more common entrances. May have an elevator.

### 3. **Row House/Townhouse/Triplex/Fourplex/Multiplex (RH)**

- a. An individual unit attached to other individual units; 2 or more common walls; separate ground level entrances; 1 or 2 story **units**.
- b. Each building will have end units and inside units.
- c. Fourplex units usually share 2 common walls; can be square-shaped or L-shaped.
- d. Triplex building can be V-shaped.

### 4. **Semi-Detached/Duplex (S-D or SD)**

Building with 2 individual housing units; with separate entrances; one common wall; 1 or 2 story units.

### 5. **Detached House (DH)**

A detached building intended to house one family; sits on its own piece of land; not attached to another dwelling.

# **UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS**

# OTTUMWA HOUSING AUTHORITY, IA

## PUBLIC HOUSING

### UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

#### ELECTRICITY - Alliant Energy

UPDATE 2024

#### Family Scattered Sites

#### Building Type: Semi-Detached/Duplex

	0BR	1BR	2BR	3BR	4BR	5BR
Monthly Average Unit Consumption kWh for all bedroom types - <b>Summer</b>			221	269	314	
Service Charge Per Month \$13.00			\$13.00	\$13.00	\$13.00	
Energy Charge Per KWH 0.17917			\$39.60	\$48.20	\$56.26	
<i>Subtotal</i>			\$52.60	\$61.20	\$69.26	
Total Taxes % of Total 7%			\$3.68	\$4.28	\$4.85	
<b>Total Monthly Cost - Summer</b>			<b>\$56.28</b>	<b>\$65.48</b>	<b>\$74.11</b>	

	0BR	1BR	2BR	3BR	4BR	5BR
Monthly Average Unit Consumption kWh for all bedroom types - <b>Winter</b>			221	269	314	
Total Monthly Charges Per Month \$13.00			\$13.00	\$13.00	\$13.00	
Total Energy Charges (0-500) Per KWH 0.16201			\$35.80	\$43.58	\$50.87	
<i>Subtotal</i>			\$48.80	\$56.58	\$63.87	
Total Taxes % of Total 7%			\$3.42	\$3.96	\$4.47	
<b>Total Monthly Cost - Winter</b>			<b>\$52.22</b>	<b>\$60.54</b>	<b>\$68.34</b>	

Averaging Months	0BR	1BR	2BR	3BR	4BR	5BR
<b>Summer</b> Annual Avg 5			\$281.40	\$327.40	\$370.55	
<b>Winter</b> Annual Avg 7			\$365.54	\$423.78	\$478.38	
<b>Total Monthly Cost (Based on Annual Average)</b>			<b>\$53.91</b>	<b>\$62.60</b>	<b>\$70.74</b>	

Summer: May - September (5), Winter: October - April (7)  
 Seasons based on Alliant Energy's electric Summer and Winter Months.

**OTTUMWA HOUSING AUTHORITY, IA**  
**PUBLIC HOUSING**

**UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS**

**NATURAL GAS - MidAmerican Energy**

**UPDATE 2024**

**Family Scattered Sites**

**Building Type: Semi-Detached/Duplex**

	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
Monthly Average Unit Consumption ccf for all bedroom types - <b>Summer</b>			12	14	15	
Servic Charge Per Month \$11.44			\$11.44	\$11.44	\$11.44	
Total Energy Charges Per CCF 0.75208			\$9.02	\$10.53	\$11.28	
<i>Subtotal</i>			\$20.46	\$21.97	\$22.72	
Total Taxes % of Total 7%			\$1.43	\$1.54	\$1.59	
<b>Total Monthly Cost - Summer</b>			<b>\$21.89</b>	<b>\$23.51</b>	<b>\$24.31</b>	

	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
Monthly Average Unit Consumption ccf for all bedroom types - <b>Winter</b>			37	46	52	
Servic Charge Per Month \$11.44			\$11.44	\$11.44	\$11.44	
Total Energy Charges Per CCF 0.75208			\$27.83	\$34.60	\$39.11	
<i>Subtotal</i>			\$39.27	\$46.04	\$50.55	
Total Taxes % of Total 7%			\$2.75	\$3.22	\$3.54	
<b>Total Monthly Cost - Winter</b>			<b>\$42.02</b>	<b>\$49.26</b>	<b>\$54.09</b>	

Averaging Months	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
<b>Summer</b> Annual Avg 5			\$109.45	\$117.55	\$121.55	
<b>Winter</b> Annual Avg 7			\$294.14	\$344.82	\$378.63	
<b>Total Monthly Cost (Based on Annual Average)</b>			<b>\$33.63</b>	<b>\$38.53</b>	<b>\$41.68</b>	

Summer: May - September (5), Winter: October - April (7)  
Seasons based on Alliant Energy's electric Summer and Winter Months.

**OTTUMWA HOUSING AUTHORITY, IA**  
**PUBLIC HOUSING**

**UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS**

**WATER & SEWER - Ottumwa Water & Hydro**

**UPDATE 2024**

**Family Scattered Sites**

**Building Type: Semi-Detached/Duplex**

	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
Monthly Average Unit Consumption ccf for all bedroom types - <b>Water</b>			3522	5052	6582	
convert to ccf			<b>4.71</b>	<b>6.75</b>	<b>8.80</b>	
Water Minimum Charge Per Month \$21.60			\$21.60	\$21.60	\$21.60	
Water Volume Charge (0-500) Per CCF \$4.45			\$20.96	\$30.04	\$39.16	
<i>Subtotal</i>			\$42.56	\$51.64	\$60.76	
Total Taxes % of Total 7%			\$2.98	\$3.61	\$4.25	
<b>Total Monthly Average Cost</b>			<b>\$45.54</b>	<b>\$55.25</b>	<b>\$65.01</b>	

	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
Monthly Average Unit Consumption ccf for all bedroom types - <b>Sewer</b>			3522	5052	6582	
convert to ccf			<b>4.71</b>	<b>6.75</b>	<b>8.80</b>	
Sewer Base Charge Per Month \$18.25			\$18.25	\$18.25	\$18.25	
Sewer Rate Per CCF \$6.00			\$28.26	\$40.50	\$52.80	
<b>Total Monthly Average Cost</b>			<b>\$46.51</b>	<b>\$58.75</b>	<b>\$71.05</b>	

## **SUPPORT DOCUMENTATION**



## **UTILITY PROVIDER RATES AND CHARGES**

# OTTUMWA HOUSING AUTHORITY, IA

## PUBLIC HOUSING

### Utility Providers Residential Rates and Charges As of January 2024

**UPDATE 2024**

#### **ELECTRICITY**

**Source: Alliant Energy (Interstate Power & Light)**

1-800-255-4268

www.alliantenergy.com\*

<b>Summer (May - September) (5)</b>			Rate 400
<b>Winter (October - April) (7)</b>			Rate 400
<b>Service Charge</b>	Per Month	<b>\$13.00</b>	
<i>Summer</i>	<b>Tiers*</b>	<b>All</b>	
<i>Winter</i>	<b>Tiers*</b>	<b>0 - 500</b>	<b>501 - 1200</b>
Energy Charge ( <i>Summer</i> )	Per KWH	0.11685	
Energy Charge* ( <i>Winter</i> )	Per KWH	0.09969	0.07721
Energy Adjustment Clause (EAC)	Per KWH	0.0211	0.0211
Energy Efficiency Cost Recovery (EECR)	Per KWH	0.0021	0.0021
Reg. Transmission Service Clause (RTS)	Per KWH	0.03912	0.03912
<b>Total Energy Charges (<i>Summer</i>)</b>		Per KWH	<b>0.17917</b>
<b>Total Energy Charges (<i>Winter</i>)</b>		Per KWH	<b>0.16201    0.13953</b>
State Sales Tax	% of Total	6%	
Local Option Sales Tax	% of Total	1%	
<b>Total Taxes</b>		% of Total	<b>7%</b>
<b>Year Round Weighted Average</b>			Rate 400
		<b>Tiers*</b>	<b>0 - 500    501 - 1200</b>
<b>Total Energy Charges (wtd avg)</b>		Per KWH	<b>0.16916    0.156047</b>

#### **NATURAL GAS**

**Source: MidAmerican Energy**

888-427-5632

www.midamericanenergy.com\*

<b>Year Round</b>			Small Volume Firm (SVF)
<b>Service Charge</b>	Per Month	<b>\$11.44</b>	
		<b>Tiers*</b>	<b>All</b>
Non-Gas Commodity Charge	Per Therm	0.20583	
Balance	Per Therm	0.10877	
Purchased Gas Adjustment	Per Therm	0.42592	
Energy Efficiency Cost Recovery	Per Therm	0.01156	
<b>Total Energy Charges</b>		Per Therm	<b>0.75208</b>
State Sales Tax	% of Total	6%	
Local Option Sales Tax	% of Total	1%	
<b>Total Taxes</b>		% of Total	<b>7%</b>

**OTTUMWA HOUSING AUTHORITY, IA**  
**PUBLIC HOUSING**

**WATER & SEWER**

**Source: Ottumwa Water & Hydro**

641-684-4606

www.ottumwawaterworks.com\*

<b>Water</b>		
<b>Water Minimum Charge</b>	Per Month	<b>\$21.60</b>
	<b>Tiers*</b>	<b>0 - 500</b>
<b>Water Volume Charge*</b>	Per CCF	<b>\$4.45</b>
State Sales Tax	% of Total	6%
Local Option Sales Tax	% of Total	1%
<b>Total Taxes</b>	<b>% of Total</b>	<b>7%</b>

**Source: City of Ottumwa**

641-683-0621

www.ottumwa.us

Call

<b>Sewer</b>		
Sewer Base Charge	Per Month	<b>\$18.25</b>
Sewer Rate	Per CCF	<b>\$6.00</b>

# UTILITY PROVIDER DOCUMENTATION

# Iowa State Sales Tax

## State Sales and Use Tax

The state sales tax rate and use tax rate are the same. The rate is 6%.

<https://tax.iowa.gov/iowa-sales-and-use-tax-guide#taxes>

# Iowa Local Option Sales Tax

## Local Option Sales Tax

In addition to the state tax, most local jurisdictions impose the local option sales tax. The rate is 1%. Within a county, some cities may have the local option tax, some may not. Also, the unincorporated rural area of a county may or may not have the tax. A jurisdiction may enact the tax on January 1 or July

### Q. Is the local option sales tax imposed on the same items as state sales/excise tax?

Yes, except on:

- Room rentals, in a hotel, motel, or other similar facility
- Sales of equipment by the State Department of Transportation
- Sales of natural gas or electric energy subject to a city- or county-imposed franchise fee or users fee
- The sale of direct-to-home satellite pay television service
- Self-propelled building equipment, pile drivers, motorized scaffolding, or attachments customarily drawn or attached to them, including auxiliary attachments which improve their performance, safety, operation, or efficiency and including replacement parts used by contractors, subcontractors and builders for new construction, reconstruction, alterations, expansion or remodeling of real property or structures

### Q. How are utility payments taxed?

Delivery of gas and water occurs and the services of electricity, heat, communication, and pay television are rendered, furnished, or performed at the address of the subscriber who is billed for the purchase of this property or services. If that billing address is located in a local option taxing jurisdiction, the tax will apply.

<https://tax.iowa.gov/iowa-local-option-sales-tax-lost-questions-and-answers#imposed>

**Distribution of Funds:** To local sales and service tax fund with disbursement to local jurisdictions monthly

<u>County</u>	<u>City</u>	<u>Local Rate</u>	<u>Total Rate</u>
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# Interstate Power and Light ELECTRIC TARIFF

Filed with the I.U.B.

Fourteenth Revised Sheet No. 20  
Canceling Thirteenth Revised Sheet No. 20

## ORIGINAL TARIFF NO. 1

### Electric Residential Service

Rate Codes: 400, 407

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#### Applicable:

To residential customers in single family dwellings or individually metered apartments for all domestic use. No resale of electric service is permitted hereunder. Service hereunder is also subject to Company's Rules and Regulations.

#### Character of Service:

60 Hertz alternating current, 120/240 volts, single-phase, through one meter and one point of delivery. Three phase service available in accordance with the Rules and Regulations and Excess Facilities Charge.

#### Billing Provisions

##### Service Charge:

Rate Code	Per day per meter	For comparison per month
Rate 400	\$0.4274	\$13.00

##### Energy Charge:

Rate 400	Winter	Summer
First 16.438 kWh/Day or first 500 kWh/Mo.	9.969¢/kWh	11.685¢/kWh
Next 23.014 kWh/Day or next 700 kWh/Mo.	7.721¢/kWh	11.685¢/kWh
Over 39.452 kWh/Day or over 1,200 kWh/Mo.	3.932¢/kWh	11.685¢/kWh

Note: For the average kWh in a billing period, there are 30.4167 days assumed in a month.

##### Summer Period:

From May 16 to September 15.

##### Optional Time of Day:

Rate Code: 407. The Customer may choose to have electric service metered and billed on a time-of-day basis. On-Peak/Off-Peak Definition: On-peak hours shall be from 7 a.m. to 8 p.m. CST, Monday through Friday. Off-peak hours are all other times (including the holidays of New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day). Off-peak kilowatt-hours will be billed at 50% of the above energy charges plus all other kilowatt-hours will be billed at 140% of the above energy charges. A minimum term of one year is required.

# Interstate Power and Light ELECTRIC TARIFF

Filed with the I.U.B.

## ORIGINAL TARIFF NO. 1

Thirty-Fifth Revised Sheet No. 21

Canceling Thirty-Fourth Revised Sheet No. 21

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### Electric Residential Service

Rate Codes: 400, 407

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#### Second Nature Program:

A voluntary program, which allows customers to support generation technologies that rely on renewable energy resources. Initiation and termination of a customer's participation shall be effective with the next practicable meter reading date after the Company is notified by the customer.

The following charges shall be billed, based on customer selected support level, in addition to the charges shown above under **Energy Charge**, or the charges under the **Optional Time of Day** provision, if applicable:

Second Nature Support Level	Additional Charge
100%	1.00¢/kWh
50%	0.50¢/kWh
25%	0.25¢/kWh

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#### Energy Cost Adjustment:

Billing under this schedule will include an adjustment per kWh, computed monthly, to compensate for changes in the cost of fuel as described in the Energy Adjustment Clause, Rider EAC.

#### Excess Facilities Charge:

Any standard facilities required to provide non standard service, in excess of that permitted under this Schedule or the Company's Rules and Regulations, shall be provided at a monthly amount equal to 1.6% of the Company's investment in such facilities.

#### Tax Adjustment Clause:

This price is subject to a Tax Adjustment, see Rider TAX.

#### Energy Efficiency Bill Credit:

See Rider EEBC.

#### Energy Efficiency Cost Recovery Clause:

See Rider EECR.

#### Regional Transmission Service Clause:

Billing under this schedule will include an adjustment per kWh, computed annually, to compensate for changes in the cost of transmission service as described in the Regional Transmission Service Clause, Rider RTS.

#### Renewable Energy Rider:

See Rider RER.

#### Rate Case Expense Rider:

See Rider RCE.

#### Prompt Payment Provision:

After 20 days, add 1 1/2% on the past-due amount.

# Interstate Power and Light Company

## ELECTRIC TARIFF

Filed with the I.U.B.

Two Hundred-Eleventh Revised Sheet No. 57  
 Canceling Two Hundred-Tenth Revised Sheet No. 57

### ORIGINAL TARIFF NO. 1

#### Rider EAC – Energy Adjustment Clause

##### RESIDENTIAL SERVICE ENERGY ADJUSTMENT CLAUSE FACTORS

Billing Month	Billed EAC \$/kWh (A=B+C+D+E) (A)	Rider AEP – Alternate Energy Production Clause Factor \$/kWh (B)	Rider TBR - Tax Benefit Rider \$/kWh (C)	Energy (fuel) Cost Only \$/kWh (D)	Rider RCE- Rate Case Expense \$/kWh (E)
January 2023	\$0.02017	\$0.0089	-	\$0.0112	\$0.00007
February	\$0.00527	\$0.0051	-	\$0.0001	\$0.00007
March	\$0.01067	\$0.0053	-	\$0.0053	\$0.00007
April	\$0.01610	\$0.0079	-	\$0.0082	-
May	\$0.01740	\$0.0071	-	\$0.0103	-
June	\$0.02120	\$0.0020	-	\$0.0192	-
July	\$0.02240	\$0.0026	-	\$0.0198	-
August	\$0.02450	\$0.0025	-	\$0.0220	-
September	\$0.02600	\$0.0039	-	\$0.0221	-
October	\$0.02320	\$0.0047	-	\$0.0185	-
November	\$0.01970	\$0.0065	-	\$0.0132	-
December	\$0.01780	\$0.0059	-	\$0.0119	-
January 2024	\$0.02110	\$0.0054	-	\$0.0157	-
February					
March					
April					
May					
June					
July					
August					
September					
October					
November					
December					



# Interstate Power and Light Company

## ELECTRIC TARIFF

Filed with the I.U.B.

### ORIGINAL TARIFF NO. 1

Twenty-Eighth Revised Sheet No. 60

Canceling Twenty-Seventh Revised Sheet No. 60

#### Rider EECR – Energy Efficiency Cost Recovery

The Energy Efficiency Cost Recovery Clause provides a mechanism to recover the amount of expenditures and related costs approved by the Iowa Utilities Board for the recovery through the application of cost recovery factors.

Cost Recovery Factors to be applied effective June 1, 2023.

<u>Class</u>	<u>Price Codes</u>	<u>\$/kWh</u>
Residential Service	400, 407, 507	0.0021
Non-Residential General Service	600, 607, 707	0.0018
Large General Service	440, 447, 480, 487	0.0008
Large General Service - Supplementary Power	800, 807, 810, 817	0.0008
Large General Service - High Load Factor/ Large Volume	760	0.0008
Area and Street Lighting Service	620, 630, 640	0.0036
Standby Power Service	790, 840	0.0008

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# Interstate Power and Light Company

## ELECTRIC TARIFF

Filed with the I.U.B.

Second Substitute Twenty-First Revised Sheet No. 86

Canceling Third Sub. Twentieth Revised Sheet No. 86

### ORIGINAL TARIFF NO. 1

#### Rider RTS – Regional Transmission Service Clause

The Regional Transmission Service (RTS) Clause provides a mechanism to recover costs related to transmission incurred by or charged to the Company consistent with a tariff or agreement that is subject to the jurisdiction of the Federal Energy Regulatory Commission through retail rates as approved by the Iowa Utilities Board (Board) through the application of cost recovery factors.

**Applicable:**

To all rate classes. The RTS will be applied to all kW or kWh sales, depending upon rate class, under retail electric rate schedules. The cost recovery factors are applied on a monthly basis to either base kilo-Watt-hours (energy) or base kilo-Watt (demand) units, depending upon customer class, for the purpose of billing. The RTS factor shall be applied as a separate charge. The cost recovery factors shall be determined per the formulae below and shall apply monthly to bills. All provisions of the customer's current applicable rate schedule will apply in addition to this charge.

RTS factors to be applied effective January 1, 2024:

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<u>Class</u>	<u>Price Codes</u>	<u>RTS \$/kWh</u>	<u>RTS \$/kW</u>	
Residential Service	400, 407, 507	\$0.03912	n/a	R
Non-Residential General Service	600, 607, 707	\$0.03079	n/a	R
Large General Service*	440, 447, 480, 487	n/a	\$9.81	R
Large General Service – Supplementary Power*	800, 807, 810, 817	n/a	\$6.92	R
Large General Service - High Load Factor / Large Volume*	760	n/a	\$11.19	I
Area and Street Lighting Service	620, 630, 640	\$0.03528	n/a	I
Standby Power Service	790, 840	n/a	\$7.33	I

\* Large General Service RTS charges shall be included with base rate demand charges in the application of primary service and power factor provisions of the Large General Service tariff.



DESIGNATION: Small Volume Firm (SVF)  
 CLASS OF SERVICE: Residential, Commercial and Industrial

Application

Available in all service areas in Iowa.

Applicable to all firm natural gas service normally supplied through one (1) meter at a single point of delivery for all residential, commercial, and industrial customers having peak day requirements of less than 500 therms. Not applicable for resale, standby or supplemental service. The Company's Gas Policies shall apply.

Monthly Rate

	<u>SVF</u>	
Service Charge per Meter:	\$ 11.44	
Non-Gas Commodity Charge:		
First 250 therms per therm:	\$ 0.20583	
Balance per therm:	\$ 0.10877	

Clauses and Riders

Above rate subject to: Btu Adjustment Clause (Sheet No. W-1).  
 Cost of Purchased Gas Adjustment Clause 1,  
 (Sheet Nos. W-2, W-4).  
 Gas Energy Efficiency Cost Recovery (Sheet No. W-3).  
 Tax Adjustment Clause (Sheet No. W-7).  
 Capital Investment Charge (Sheet No. A-1).  
 Tax Expense Revision Mechanism (Sheet No. B-9).

Bill Payment Provision

The rate is net. A late payment charge of one and one-half percent (1.5%) per month shall be added to the past due amount if the bill is not paid by the due date.

Minimum Charge

The minimum charge is the service charge plus the capital investment charge and the commodity charge plus any applicable clauses and riders for all therms used.



MIDAMERICAN ENERGY COMPANY  
 Gas Tariff No. 1  
 Filed with the Iowa Utilities Board

3<sup>rd</sup> Revised Sheet No. vii  
 Canceling 2<sup>nd</sup> Revised Sheet No. vii

<u>Communities</u>	<u>Pricing Zone**</u>	<u>Communities</u>	<u>Pricing Zone**</u>	T
Minburn	W	Parkersburg	W	T
Minden	W	Perry	W	T
Mingo	W	Persia	W	T
Missouri Valley	W	Plainfield	W	T
Mitchellville	W	Pleasant Hill	W	T
Monona County	W	Pleasantville	W	T
Monroe	W	Plymouth County	W	T
Monroe County	W	Polk City	W	T
Montgomery County	W	Polk County	W	T
Moorland	E	Port Neal	W	T
Moville	W	Portsmouth	W	T
Muscatine County	E	Pottawattamie County	W	T
		Prairie City	W	T
Nashua	W	Princeton	E	T
Neola	W			T
New Hartford	W	Raymond	W	T
New Sharon	W	Red Oak	W	T
Newell	W	Redfield	W	T
North Liberty	E	Ringsted	W	T
Norwalk	W	Riverdale	E	T
		Riverside	E	T
Oakland	W	Robins	E	T
O'Brien County	W	Rock Valley	W	T
Odebolt	W	Rockwell	W	T
Oskaloosa	W	Rockwell City	W	T
Otho	E	Runnells	W	T
Ottumwa	E	Ruthven	W	T
Oxford	E			T
		Sac County	W	T
Pacific Junction	W	Saint Charles	W	T
Page County	W	Saint Marys	W	T
Palo Alto County	W	Salix	W	T
Panora	W	Schaller	W	T
Panorama Park	E			T

\*\*Pricing Zone: East System (E)      West System (W)      T

Issued: August 19, 2016  
 Issued by: Rob Berntsen  
 Senior V.P. & General Counsel

Effective: September 19, 2016



MIDAMERICAN ENERGY COMPANY  
Gas Tariff No. 1  
Filed with the Iowa Utilities Board

363<sup>rd</sup> Revised Sheet No. W-4  
Canceling 362<sup>nd</sup> Revised Sheet No. W-4

RATE DESIGNATION: Statement of Purchased Gas Adjustment  
CLASS OF SERVICE: All Customer Classes

<u>Clause</u>	<u>Rate Schedule</u>		<u>Billing Rate per Therm</u>	
1	Small and Medium Volume Firm:			
	Gas Supply Charge	\$ 0.31107		R
	Pipeline Transport Charge	<u>0.11485</u>		
			\$ 0.42592	R
2	Large Volume Firm:			
	Demand		\$ 0.98104	
	Gas Supply Charge		\$ 0.33900	I

Issued: December 4, 2023  
Issued by: Arick R. Sears  
Vice President, Regulation

Effective: For Usage on and After  
December 7, 2023



DESIGNATION: Gas Energy Efficiency Cost Recovery  
 CLASS OF SERVICE: All Schedules So Designated

The following factors per therm are added to the non-gas rates per therm for the rate schedules so designated for the recovery of the Company's gas energy efficiency expenditures made and approved for recovery pursuant to Iowa Admin. Code 199-35.

Energy efficiency charges are a separate line item on customer bills.

Energy Efficiency Cost Recovery Factors:

<u>Rate Designation</u>	<u>On-going MidAmerican Costs Rate Per Therm</u>	
Residential SVF, MVF	\$0.01156	R
Non-Residential SVF, STM, ST*	\$0.00168	R
MVF, MTM, MT*	\$0.00168	R
LVF, LT*, LGTS*	\$0.00168	R
INT	\$0.00168	R
SGS, SGTS*	\$0.00168	R
CPS*	\$0.00168	R

RECONCILIATION: A reconciliation will be filed annually. The energy efficiency costs recovered from customers during the prior period will be compared to those which were allowed to be recovered. Any over/under collection, any ongoing costs, and any change in forecast sales, will be used to adjust the current energy efficiency cost recovery factors.

\* Gas Energy Efficiency Cost Recovery, applies to customers taking service under daily transportation rates when, while taking company-supplied gas or monthly metered transportation service, the customer had received a single benefit of \$5,000 or more from a MidAmerican energy efficiency program.



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**RATE ADJUSTMENT CLAUSE**  
**Gas Tax Adjustment**

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Applicable: To All Gas Rates

When any franchise, occupation, sales, license, excise, privilege or similar tax or fee of any kind is imposed upon the Company by any governmental authority based upon (i) the sale of gas service to customers, (ii) the amount of gas energy sold to customers, (iii) the gross receipts, net receipts or revenues to the Company therefrom, such tax or fee or value of service shall, insofar as practical, be charged on a pro rata basis to all customers receiving gas service from the Company within the boundaries of such taxing authority. Any such charge shall continue in effect only for the duration of such tax, assessment or service period.

Current Applicable Requirements

Iowa Sales Tax:

A state sales tax, as set forth in Section 423.2 of the Iowa Code, shall be applied to all billings for gas service, unless exempted under the provisions of Section 423.3, Iowa Code, and regulations applicable thereto.

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Local Option Sales Tax:

Where a local option tax, as set forth in Section 423B.1 and 423B.5 of the Iowa Code, has been imposed in a county, it shall be applied to all billings for gas service to customers within the designated area(s) of application, unless exempted under the provisions of Section 423.3, Iowa Code, and regulations applicable thereto or where such billings are subject to a franchise or user fee and therefore exempt.

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N  
N/D

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**RIDER CIC – CAPITAL INVESTMENT CHARGE**  
**(Applicable to Sales Service and Gas Transportation)**

The following fixed monthly surcharge shall be applied to Sales and Transportation Customers from the effective date of this tariff until the Company's next general rate case, or until this tariff is updated and approved by the Iowa Utilities Board:

<u>Class</u>	<u>Applicable Rates</u>	<u>Monthly Surcharge</u>	
Residential	60 & SVF-Residential	\$0.00	R
General Service	70, 70M, 70T, SVF-Non-residential, MVF, LVF, INT, ST, MT, LT, STM & MTM	\$0.00	R
Large General Service	90, 90T, LGT	\$0.00	R
Seasonal	87, 87T, SGS, SGT	\$0.00	R






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**CLAUSE TERM – TAX EXPENSE REVISION MECHANISM (continued)**  
 (Applicable to Sales Service and Gas Transportation)

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The adjustment of gas charges under the provisions of Clause TERM – Tax Expense Revision Mechanism to be effective with bills rendered beginning June 22, 2023, shall be as follows:

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<u>Class</u>	<u>Rates</u>	<u>Price per therm</u>	
Residential - Sales	60 & SVF-Residential	\$ 0.00000	I
General Service - Sales	SVF-Non-residential, 70, 70M, LVF, MTM, MVF, STM & INT	\$ 0.00000	I
Large General Service - Sales	90	\$ 0.00000	I
Seasonal - Sales	87 & SGS	\$ 0.00000	I
General Service – Transport	70T, MT, ST, LT	\$ 0.00000	I
Large General Service - Transport	90T, LGT, 95* & CPS*	\$ 0.00000	I
Seasonal - Transport	87T & SGT	\$ 0.00000	I

\* Depending on the terms of each individual contract.

## Section VIII – Rate Schedule

### 8.1 Metered Rates for Residential and Commercial Accounts Billing Monthly

*EFFECTIVE July 1, 2023*

	<u>Base Charge</u>	
<b>Meter Size</b>	<b>City Rates</b>	<b>Suburban Rates</b>
Meters with Pits (5/8 & 3/4)	\$21.60 Minimum	\$32.40 Minimum
5/8”	\$16.04 “ “	\$20.05 “ “
3/4”	17.87 “ “	22.35 “ “
1”	23.36 “ “	29.20 “ “
1 1/2”	34.31 “ “	42.89 “ “
2”	46.49 “ “	58.12 “ “
 <b><u>Volume Charge</u></b> 		
First 50,000 Cu. Ft.	\$ 4.45 Per 100 Cu. Ft.	\$5.56 Per 100 Cu. Ft.
Next 50,000 Cu. Ft.	3.25 “ “ “ “	4.06 “ “ “ “
Over 100,000 Cu. Ft.	2.37 “ “ “ “	2.96 “ “ “ “

### 8.2 Commercial Accounts Billing Monthly

*EFFECTIVE SAME AS ABOVE*

	<u>Base Charge</u>	
<b>Meter Size</b>	<b>City Rates</b>	<b>Suburban Rate</b>
Meters with Pits (5/8 & 3/4)	\$ 21.60 Minimum	\$32.40 Minimum
5/8”	\$ 16.04 “ “	\$ 20.05 “ “
3/4”	17.87 “ “	22.35 “ “
1”	23.36 “ “	29.20 “ “
1 1/2 “	34.31 “ “	42.89 “ “
2”	46.49 “ “	58.12 “ “
3”	89.10 “ “	111.38 “ “
4”	140.30 “ “	175.38 “ “
6”	318.35 “ “	397.94 “ “
8”	556.69 “ “	695.86 “ “
10”	846.81 “ “	1,058.51 “ “
12”	1169.59 “ “	1,461.99 “ “
 <b><u>Volume Charge</u></b> 		
First 50,000 Cu. Ft.	\$ 4.45 per 100 Cu. Ft.	\$5.56 per 100 Cu. Ft.
Next 50,000 Cu. Ft.	3.25 “ “ “ “	4.06 per 100 Cu. Ft.
Over 100,000 Cu. Ft.	2.37 “ “ “ “	2.96 per 100 Cu. Ft.

Bulk Water Sales –\$8.18 per 100 Cu. Ft.  
 City Rate (Excess Usage) \$1.17 per Cu. Ft.

# Utility Rate Gathering Form

Date: 1/4/2024

Housing Agency: Ottumwa Housing Authority, IA

	Electricity	Natural Gas	Water	Sewer	Trash
Utility (highlight):	Propane Bottle Gas	Fuel Oil			

Provider Name: City of Ottumwa

Provider Phone No: 641-684-4606

Provider Contact Name: Lisa

Provider Website: www.ottumwa.us

RL Staff Gathering Data: Sharon

Notes:							
Description of Rate or Charge	Monthly Charge	Per Usage Rate	Usage Measure	% Charge (ex: tax)	Summer Months	Winter Months	Tiers/Consumps
Sewer Base Charge	\$18.25		per mth				
Sewer Rate		\$6.00	per ccf				

## **COMPARISON OF PREVIOUS AND CURRENT UTILITY RATES**

# Comparison of Previous and Current Utility Rates

## PUBLIC HOUSING

### OTTUMWA HOUSING AUTHORITY, IA

**Note: Rates in bold text indicate changes and gray print indicates removal.**

(We use the absolute value of the changes which gives us the percentage of change. This is the best way to determine a 10% change in utility rates and charges.)

#### **ELECTRIC**

Description	Measure	Summer Rates		Winter Rates		Difference		Percentage	
		1/2023	1/2024	1/2023	1/2024	Summer	Winter	Summer	Winter
Service Charge	per month	\$13.00	\$13.00	\$13.00	\$13.00	\$0.00	\$0.00	0%	0%
Tier-1 Total Energy Chgs (all)(0-500)	per kwh	0.17740	<b>0.17917</b>	0.16024	<b>0.16201</b>	0.00177	0.00177	1%	2%
Tier-2 Total Energy Chgs (500-1200)	per kwh			0.13776	<b>0.13953</b>		0.00177		2%
Total Taxes	% of total	7%	7%	7%	7%	0.00	0.00	0%	0%

*Summer rates are single tiered. Summer: May - September (5), Winter: October - April (7).*

**UPDATE 2024**

#### **NATURAL GAS**

Description	Measure	Rates		Difference	
		1/2023	1/2024	Amount	Percent
Total Monthly Charges	per month	\$10.73	<b>\$11.44</b>	\$0.71	7%
Total Energy Charges	per therm	0.99903	<b>0.75208</b>	-0.24695	-25%
Total Taxes	% of total	7%	7%	0.00	0%

#### **WATER & SEWER**

Description - Water	Measure	Rates		Difference	
		1/2023	1/2024	Amount	Percent
Water Minimum Charge	per month	\$20.00	<b>\$21.60</b>	\$1.60	9%
Water Volume Rate (0-500)	per ccf	\$3.92	<b>\$4.45</b>	\$0.53	14%
Total Taxes	% of total	7%	7%	0.00	0%

#### **City of Ottumwa**

Description - Sewer	Measure	Rates		Difference	
		1/2023	1/2024	Amount	Percent
Sewer Base Charge	per month	\$18.25	\$18.25	\$0.00	0%
Sewer Rate	per ccf	\$6.00	\$6.00	\$0.00	0%

## **DEVELOPMENT CHARACTERISTICS**

**HOUSING AGENCY** Ottumwa Housing Authority, IA

**DEVELOPMENT CHARACTERISTICS CHART**  
For Low-Rent Public Housing Program

Development Name	HA Code	Year Built	Building Type**	Total # Units	# of Units by Bedroom Size						Resident-Paid Utilities (See* below)					A/C?		
					0	1	2	3	4	5	Electric	N Gas	Water	Sewer	Trash	Central	Window	
Family Site	AMP 3	1971	S-D/D	60			X	X	X			C	C	C	C			

\* Please indicate one of the following under each utility:

- M (Master-Metered):** The development has one master-meter per building and the Agency pays the utility bills.
- I (Resident-Paid):** There are individual meters for each unit and the resident pays the utility directly to the utility provider.
- C (Check-Metered by agency):** There are individual meters for each unit but the Agency pays the utility company and charges the resident for excess utility usage.
- \*\* Building Types:** **Walk-Up/Apartment; Row House/Townhouse; Semi-Detached/Duplex; Detached House**

**Please email to Cheryl@nelrod.com with a copy of current allowances**

## **CUSTOMIZATION FOR BASE EKOTROPE MODELS**



Housing Agency:

Ottumwa Housing Authority

### Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for each development/property and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. Blue text represents energy efficiency measures/equipment.

Development Name & No.: Amp 3- family scattered site

Building: Year Built: 1973 Structure Type:  Apt  High-Rise  RH  SD  DH  
Legend: Apt=Apartment (low-rise/mid-rise), RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

Agency-Paid Check-Metered Utilities:  Electric  Natural Gas  Water  
OR  All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes:  0BR/EFF ( )  1BR ( )  2BR ( )  3BR ( )  4BR ( )  5BR ( )  6BR ( )

1 Foundation Type:  Concrete Slab  Pier-Beam (Crawl Space)  Basement  
2 Window Type:  Single Pane  Double Pane Low-E  Double Pane/Vinyl  
U-Factor: \_\_\_\_\_ SHGC: \_\_\_\_\_ (Solar Heat Gain Coefficient)  
3 # of Stories in Unit:  One  Two  Building has multiple stories  
4 Exterior Veneer/Cladding:  Siding  Brick  Stucco  Other: \_\_\_\_\_

HVAC  
5a Heating Fuel:  Electric  Natural Gas  Other: \_\_\_\_\_  
5b Is Heating Individually Metered?  Yes  No  
5c Heating Type:  Electric Baseboard  Forced Air Furnace/Wall unit (80 AFUE)  Central Boiler (radiant)  
Energy Efficiencies Models  Heat Pump  Forced Air Furnace w/ducts \_\_\_electric or  natural gas  
Heat Pump Efficiency Rating: SEER: \_\_\_\_\_ HSPF: \_\_\_\_\_  
 Solar Panels Installed  (High Efficiency) Gas Furnace (90 AFUE)  
(additional information is needed)

5d Heating Equipment Location:  Conditioned Space  Unconditioned Space (attic/garage)

5e Air Conditioning:  Yes  No Type:  Window Unit  Central Tonage: \_\_\_\_\_

6 Air Ducts:  Yes  No  
If Yes, Location:  Conditioned Space  Unconditioned Space (attic)

7a Water Heater:  Electric (30 gal)  Natural Gas (30 gal)  Oil  
40-50 gallon  Elec Tank .90 EF  Gas Tank .58 EF  Solar Water Heating  
 Elec Tank .95 EF  Gas Tank .62 EF  
 Elec Tankless  Gas Tankless .80 EF or higher  
(additional information is needed)

7b Water Heater Type:  Individual units  Central Boiler

7c Water Htr Location:  Conditioned Space  Unconditioned Space (attic/garage)

8 Stove/Range:  Electric  Natural Gas

9 Energy Efficiencies:  
Insulation:  Ceiling (R-20)(min.)  Ceiling (R-38)  Wall (R-13)  
 Ceiling (R-30)  Ceiling (R-49)  Wall (R-19)  
Low Flow Water:  Shower, Faucets, Toilets Lighting:  100% CFL  100% LED

10  GeoThermal (HVAC and DHW) COP Rating: \_\_\_\_\_

Notes/Comments: We have one and two stories units

## **DEVELOPMENT REPORTS**



Current Study

Type: **Low-Rent Utility Study - [New]**  
 Date: **November 8, 2021**  
 Agency: **Ottumwa Housing Authority, IA**

Home

ResidentLife Utility Allowance® Calculator

Logout

Administration

- Choose Agency
- New Agency
- Edit Agency
- Users
- Climate Regions

Utility Study

- Developments
- Utility Companies
- Utility Rates

Calculate

- Cost of Consumption
- Average Costs
- Proposed Allowances
- Compare Allowances

Export

- Utility Rates
- Cost of Consumption
- Average Costs
- Total Consumptions
- Proposed Allowances
- Compared Allowances

Low-Rent Study

- New
- Open/Edit

Section 8 Study

- New
- Open/Edit

Developments / AMPs

INSTRUCTIONS

Use the Development Characteristics Chart and the Energy Customization Charts for reference.

- Click on tabs below in number order and answer questions. Don't **[SAVE]** until tabs 1 - 4 have been completed. **[SAVE]** will take you back to this screen.
- To **start** click on **[ADD DEVELOPMENT]** button below.
- After all development information has been input, click **[HOME]** and go to 2. Utility Companies.

Details

What is the development's name?

What is the development's extension number?

What is the development's building type?

What type of residents occupy the development?

Are water saving devices used?

Do the units have air conditioning?

How old is the development?

[Click here for HELP with building type descriptions.](#)

Utilities

What utility is used for space heating?

What utility is used for domestic hot water?

What utility is used for cooking stove?

Do the Residents pay for natural gas?

Do the Residents pay for electricity?

Do the Residents pay for water or sewer?

Do the Residents pay for trash pickup?

Unit Details

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
How many units?	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="0"/>	<input type="text" value="0"/>
Is there a pier beam foundation (Crawlspace)?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there double-pane or Low-E windows?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there an electric base board?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a heat pump?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a space heater in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there domestic hot water in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there ducts in the attic?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is this a 2-story unit?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>

Energy Improvements (Natural Gas) - **HIDE**

Space Heating

- Gas Furnace (48k/94 AFUE)

Water Heating

- Gas Tank (0.62 EF)

- Gas Tankless (0.69 EF)
- Gas Tankless (0.80 EF)

**Insulation**

- Ceiling (R-30)
- Ceiling (R-38)
- Wall (R-13)

**Windows**

- Double Pane Vinyl

**Lighting**

- 100% CFL

**Energy Improvements (Electric) - SHOW**

Save Delete Reset

**End-Use Consumptions**

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Space Heating (Therms)			24	31	35		
Domestic Hot Water (Therms)			12	14	15		
Lights & Appliances (kWh)			169	207	243		
Cooking Stove (kWh)			52	62	71		
Water & Sewer (Gallons)			4726	7268	8539		

**End-Use Consumption Calculations - SHOW**

**Adjusted Consumption Totals**

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Electricity (kWh)			221	269	314		
Natural Gas Winter (Therms)			37	46	52		
Natural Gas Summer (Therms)			12	14	15		
Water (gallons)			4726	7268	8539		

**Consumption Total Adjustment Calculations - SHOW**

**Select a Development / AMP**

Available Developments:

Family Scattered Sites IA-AMP 3 (EE Equip: Win-V,H,WH,Ins,WS)

Add Development Edit Development

# Average Water Consumptions

Ottumwa Housing Authority, IA

<u>Water Consumptions</u>				
Base Rate		Per	1000	Gallons
Rate		First	10000	Gallons
Rate		Next	10000	Gallons
Water Saving Devices Installed			<b>Yes</b>	
<b>Annual Usage With Water Saving Devices</b>				
	Bedroom Sizes			
	2	3	4	
*USGS Annual Usage	58,400	87,600	116,800	
*CSG Network Usage	38,690	58,035	77,380	
*Southwest Florida Water Management District Usage	22,630	33,945	45,260	
*REUWS Usage	49,333	62,911	76,489	
Monthly Gallons	3,522	5,052	6,582	

\*Source: Highlighted Cells are using an average of the USGS, CSG Network, Southwest Florida Water Management Calculators and Residential End Uses Water Study

## **CURRENTLY ADOPTED UTILITY ALLOWANCES**

## Cynthia Ramirez

---

**From:** Meliha Cavkusic <mcavkusic@ohatowers.org>  
**Sent:** Monday, January 8, 2024 1:54 PM  
**To:** Cynthia Ramirez  
**Subject:** Re: Ottumwa, IA: Currently Adopted Utility Allowances for Public Housing - 2024

Hello Cynthia,  
Our current utility allowances is:

For a 3-bedroom units utility allowance is at \$216

For a 2-bedroom the utility allowance is at \$180.

Thank you

Meliha

On Jan 8, 2024 11:40 AM, Cynthia Ramirez <cynthia@nelrod.com> wrote:

Hi Meliha,

We are working on your Public Housing Utility Allowance study. We have the utility allowances we proposed in the previous study, but since you are not required to adopt what we propose, could you please provide us with your currently adopted utility allowances to complete the study?



A Division of The Nelrod Company

**Cynthia Ramirez**  
**Data Technician**  
Tel. 817-922-9000 ext. 101  
Email. [cynthia@nelrod.com](mailto:cynthia@nelrod.com)

3301 West Freeway  
Fort Worth, Texas 76107  
[www.nelrod.com](http://www.nelrod.com)

**LOCAL CLIMATOLOGICAL DATA  
ANNUAL CLIMATIC DATA SUMMARY**



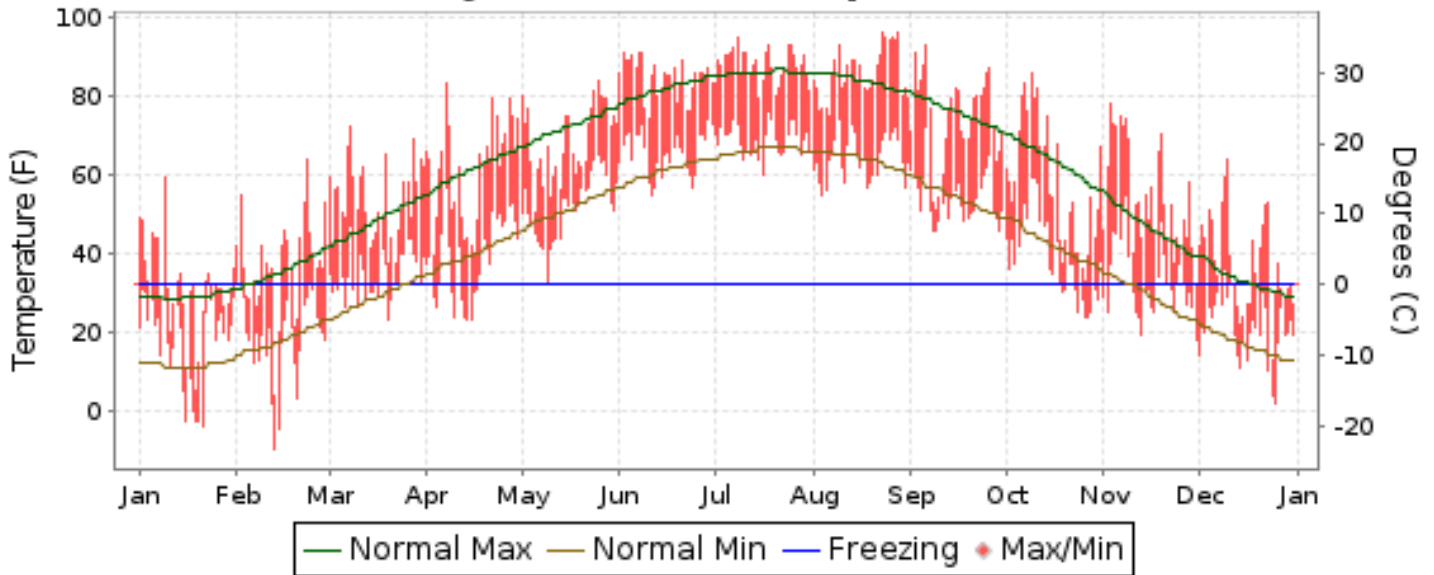


# 2020 LOCAL CLIMATOLOGICAL DATA ANNUAL SUMMARY WITH COMPARATIVE DATA

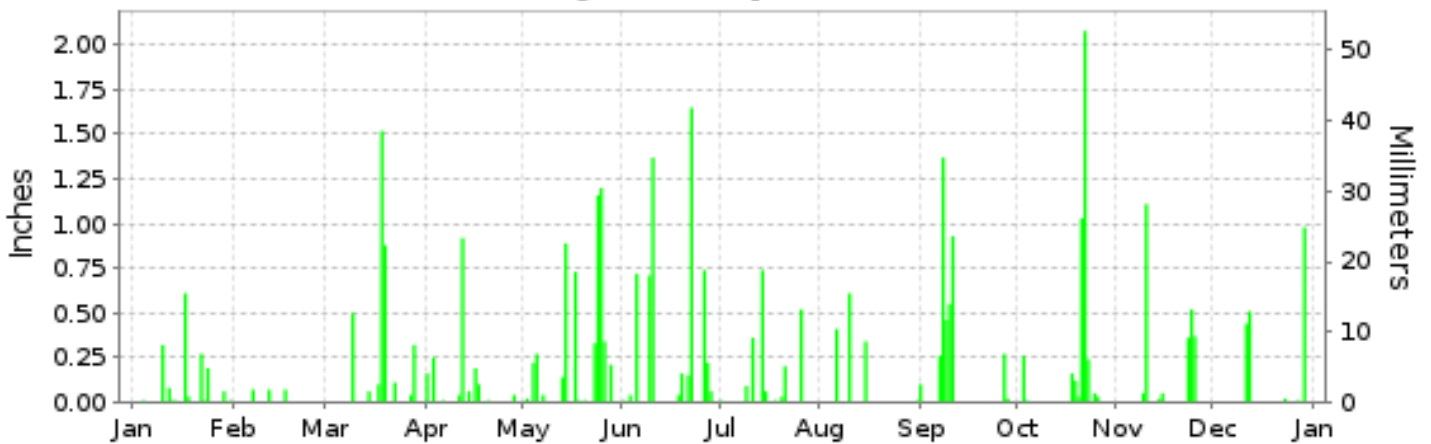
ISSN 0198-2052

**DES MOINES,  
IOWA (KDSM)**

## Daily Max/Min Temperature



## Daily Precipitation



## Daily Station Pressure



I CERTIFY THAT THIS IS AN OFFICIAL PUBLICATION OF THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION, AND IS COMPILED FROM RECORDS ON FILE AT THE NATIONAL CLIMATIC DATA CENTER.

NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION

NATIONAL ENVIRONMENTAL SATELLITE, DATA AND INFORMATION SERVICE

NATIONAL CENTERS for ENVIRONMENTAL INFORMATION (NCEI) 52 SHEVILLE, NORTH CAROLINA

*Mary S. Wohlgenant*  
DIRECTOR  
NCEI

# METEOROLOGICAL DATA FOR 2020

## DES MOINES (KDSM)

LATITUDE:  
41° 32'N

LONGITUDE:  
93° 39'W

ELEVATION (FT):  
GRND: 957 BARO: 971

TIME ZONE:  
CENTRAL (UTC -6)

WBAN: 14933

ELEMENT		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR	
TEMPERATURE °F	MEAN DAILY MAXIMUM	32.0	37.0	53.5	61.2	68.5	84.7	87.9	85.8	74.6	58.2	54.8	38.0	61.4	
	HIGHEST DAILY MAXIMUM	59	64	72	83	84	91	95	96	93	86	78	64	96	
	DATE OF OCCURRENCE	09	23	08	07	25	08+	08	28+	06	09	03	10	AUG 28+	
	MEAN DAILY MINIMUM	17.9	18.6	34.3	38.7	51.8	65.6	68.9	64.3	54.0	38.9	33.2	20.6	42.2	
	LOWEST DAILY MINIMUM	-4	-10	23	23	33	55	60	55	46	24	18	2	-10	
	DATE OF OCCURRENCE	21	13	20	15+	09	11	16	04	29+	27+	30	25	FEB 13	
	AVERAGE DRY BULB	25.0	27.8	43.9	50.0	60.2	75.2	78.4	75.0	64.3	48.6	44.0	29.3	51.8	
	MEAN WET BULB	23.0	24.7	38.8	43.2	53.8	67.2	70.5	66.1	57.1	42.2	39.1	26.3	46.0	
	MEAN DEW POINT	18.9	17.8	32.4	35.6	48.2	62.4	66.5	61.0	51.7	34.5	33.0	21.2	40.3	
	NUMBER OF DAYS WITH:														
	MAXIMUM >= 90°	0	0	0	0	0	4	13	8	2	0	0	0	0	27
	MAXIMUM <= 32°	18	8	0	0	0	0	0	0	0	0	1	13	40	
MINIMUM <= 32°	31	28	14	11	0	0	0	0	0	10	18	30	142		
MINIMUM <= 0°	5	2	0	0	0	0	0	0	0	0	0	0	7		
H/C	HEATING DEGREE DAYS	1237	1071	646	448	184	0	0	0	102	519	622	1099	5928	
	COOLING DEGREE DAYS	0	0	0	6	42	310	424	317	89	20	0	0	1208	
RH	MEAN (PERCENT)	78	67	69	62	69	66	69	65	68	62	68	74	68	
	HOUR 00 LST	80	70	74	69	77	74	81	75	77	69	73	79	75	
	HOUR 06 LST	82	76	81	78	81	80	84	83	83	76	79	81	80	
	HOUR 12 LST	75	59	62	55	59	59	58	52	56	51	59	68	59	
	HOUR 18 LST	76	61	58	50	60	55	56	50	59	54	62	70	59	
W/O	NUMBER OF DAYS WITH:														
	HEAVY FOG(VISBY <= 1/4 MI)	4	0	2	1	2	0	0	0	2	0	1	2	14	
	THUNDERSTORMS	0	0	3	4	7	8	5	5	4	2	0	0	39	
PR	MEAN STATION PRESS. (IN.)	29.07	29.06	29.01	28.92	28.96	28.88	28.93	28.94	29.00	29.04	29.05	29.01	28.99	
	MEAN SEA-LEVEL PRESS. (IN.)	30.14	30.13	30.06	29.95	29.99	29.89	29.93	29.95	30.03	30.09	30.09	30.07	30.03	
WINDS	RESULTANT SPEED (MPH)	2.5	2.4	1.0	2.2	1.2	4.2	2.1	2.7	1.3	1.6	3.8	3.0	1.1	
	RES. DIR. (TENS OF DEGS.)	29	32	24	29	01	17	16	17	20	31	23	29	25	
	MEAN SPEED (MPH)	10.3	10.4	10.7	10.9	8.7	9.8	7.4	8.2	9.6	10.0	10.7	9.0	9.6	
	PREVAIL.DIR.(TENS OF DEGS.)	31	32	15	33	32	15	18	18	18	33	19	31	15	
	MAXIMUM 2-MINUTE WIND														
	SPEED (MPH)	41	31	39	38	32	35	37	51	33	35	36	41	51	
	DIR. (TENS OF DEGS.)	30	32	29	31	30	33	07	31	24	32	30	30	31	
	DATE OF OCCURRENCE	18	17	05	09	10	05	11	10	06	14	15	23	AUG 10	
	MAXIMUM 3-SECOND WIND:														
SPEED (MPH)	53	41	55	62	49	58	57	75	46	47	50	54	75		
DIR. (TENS OF DEGS.)	31	33	30	29	15	32	03	31	20	18	31	30	31		
DATE OF OCCURRENCE	18	17	05	09	26	05	11	10	06	17	15	23	AUG 10		
PRECIPITATION	WATER EQUIVALENT:														
	TOTAL (IN.)	1.61	0.21	3.53	1.78	5.57	5.87	2.02	1.37	3.96	4.01	2.48	1.96	34.37	
	GREATEST 24-HOUR (IN.)	0.64	0.07	1.62	0.92	2.29	1.96	0.74	0.61	1.62	2.98	1.16	0.98	2.98	
	DATE OF OCCURRENCE	17-18	17+	17-18	12	24-25	09-10	14	10	07-08	21-22	09-10	29	OCT 21-22	
	NUMBER OF DAYS WITH:														
PRECIPITATION 0.01	12	3	8	10	14	12	9	4	8	10	7	5	102		
PRECIPITATION 0.10	4	0	6	5	10	8	4	3	7	6	4	3	60		
PRECIPITATION 1.00	0	0	1	0	2	2	0	0	1	2	1	0	9		
SNOWFALL	SNOW,ICE PELLETS,HAIL														
	TOTAL (IN.)	16.8	2.7	1.0	5.2	0.0	T	0.0	0.0	0.0	3.1	2.1	17.1	48.0	
	GREATEST 24-HOUR (IN.)	5.7	1.6	0.6	2.2	0.0	T	0.0	0.0	0.0	1.2	2.1	9.6	9.6	
	DATE OF OCCURRENCE	17	07	14	16		05				19	23	29	DEC 29	
	MAXIMUM SNOW DEPTH (IN.)	10	8	T	3	0	0	0	0	0	1	1	9	10	
	DATE OF OCCURRENCE	25	01	14	17						26+	24	30	JAN 25	
	NUMBER OF DAYS WITH:														
SNOWFALL >= 1.0	5	1	0	3	0	0	0	0	0	2	1	2	14		

